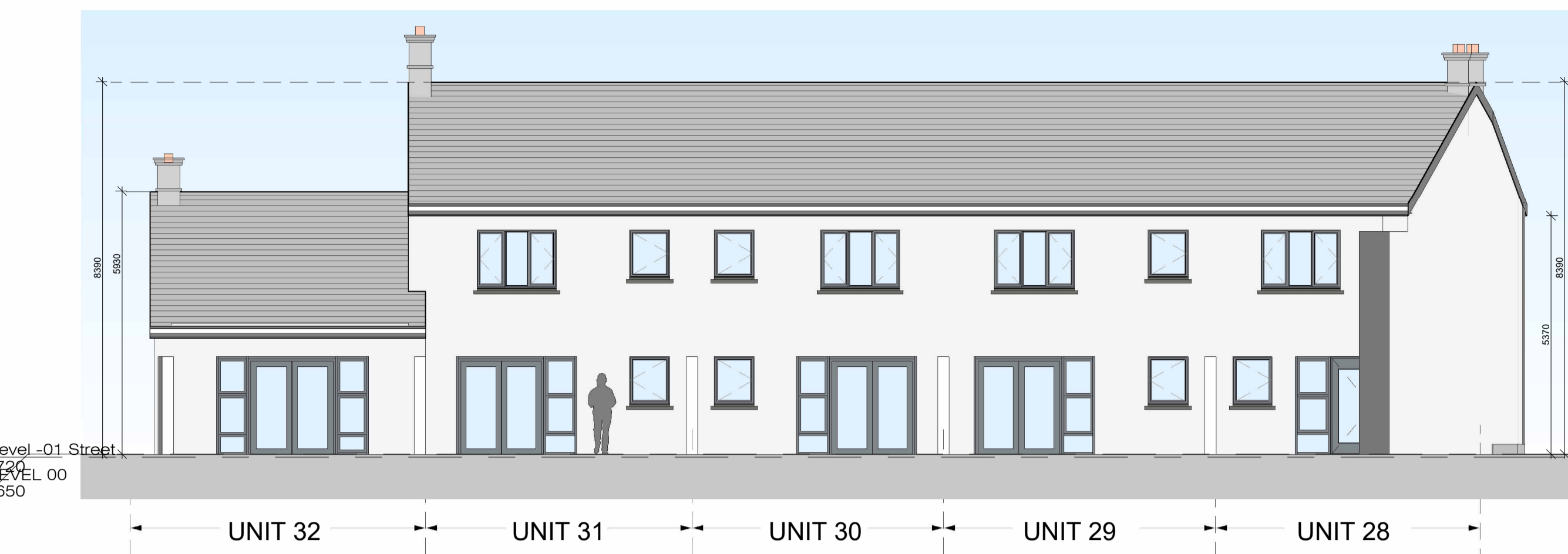
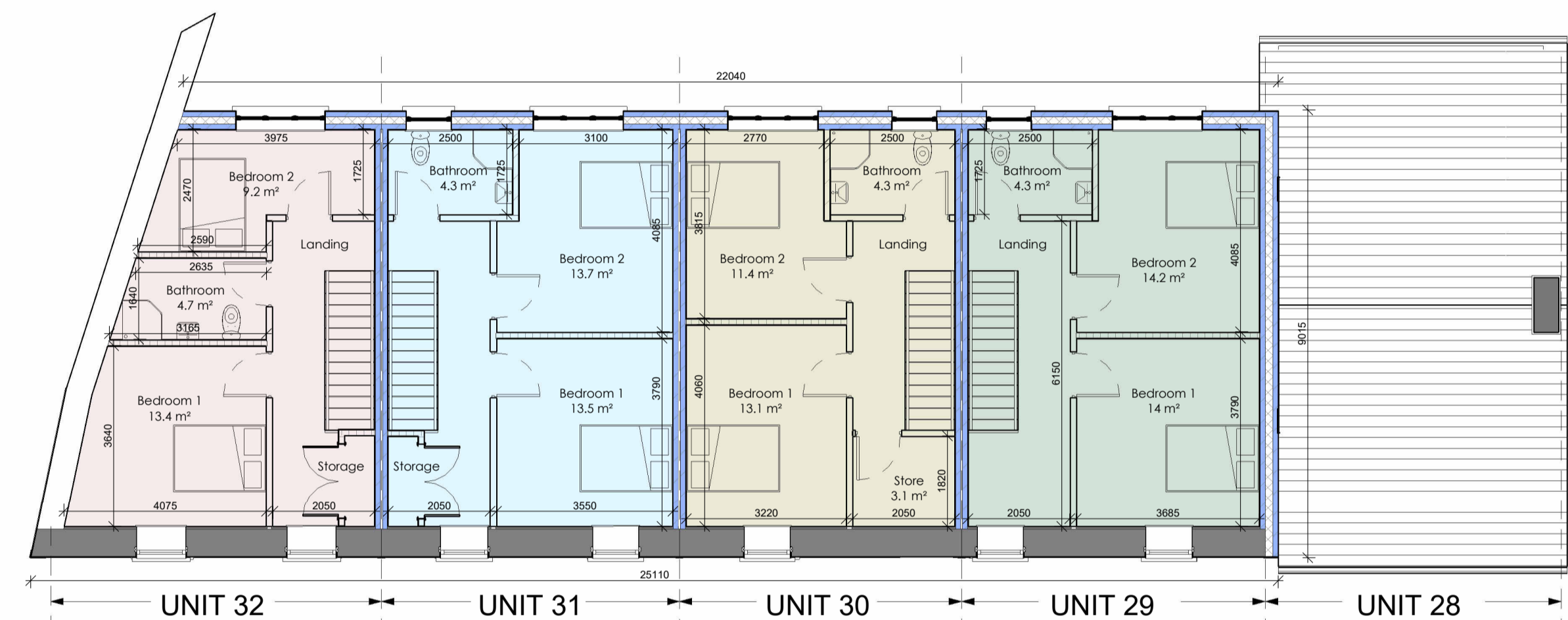


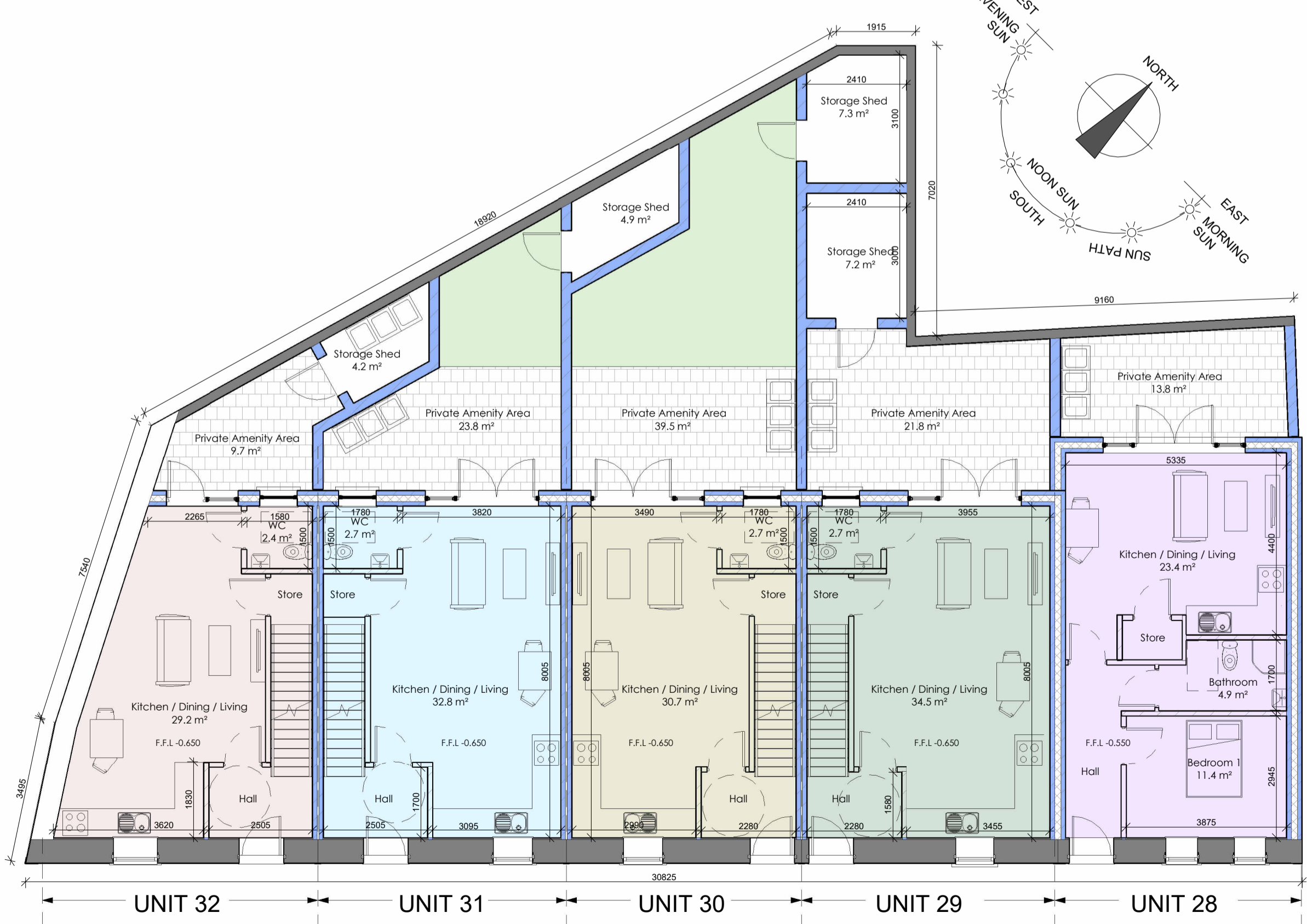
FRONT (SOUTH-EAST FACING) ELEVATION  
Scale 1:100



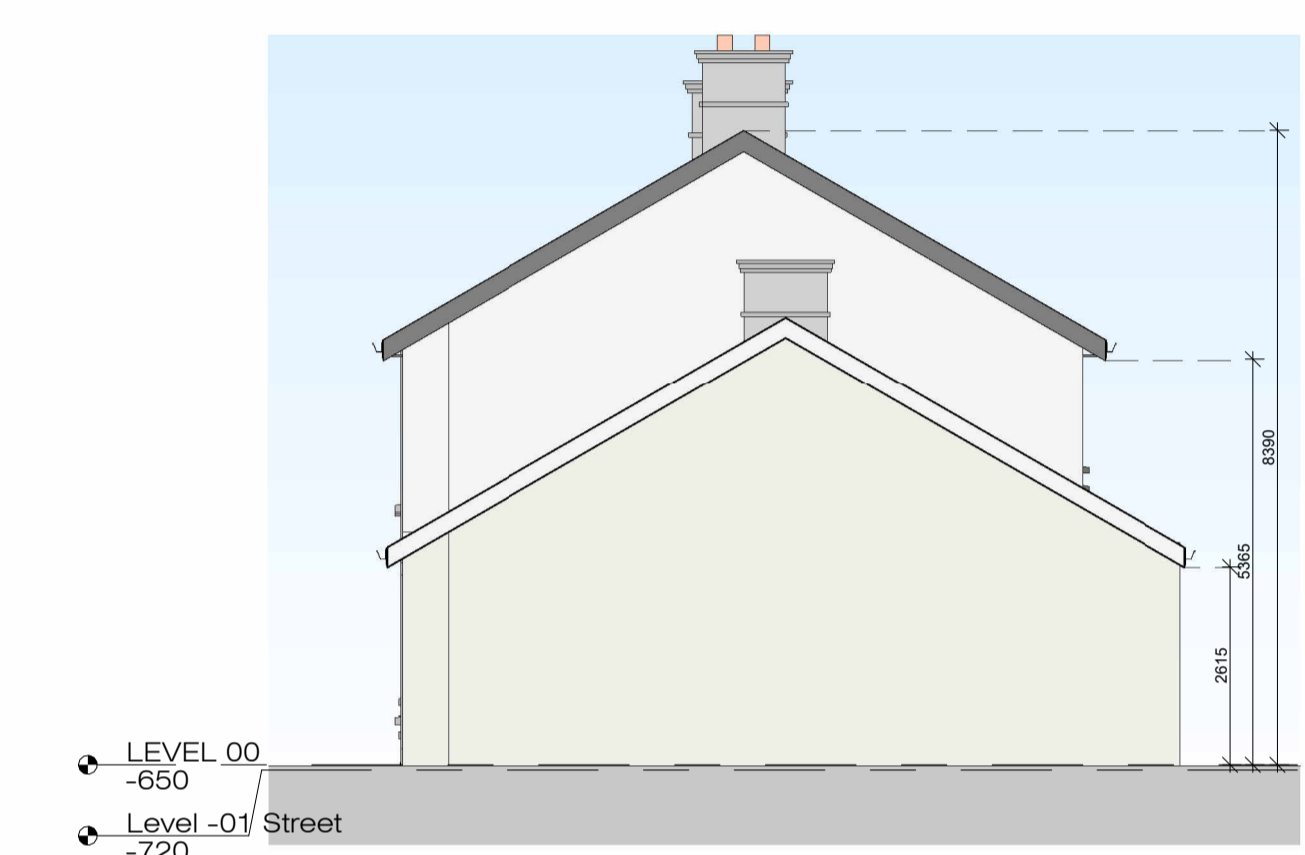
REAR (NORTH-WEST FACING) ELEVATION  
Scale 1:100



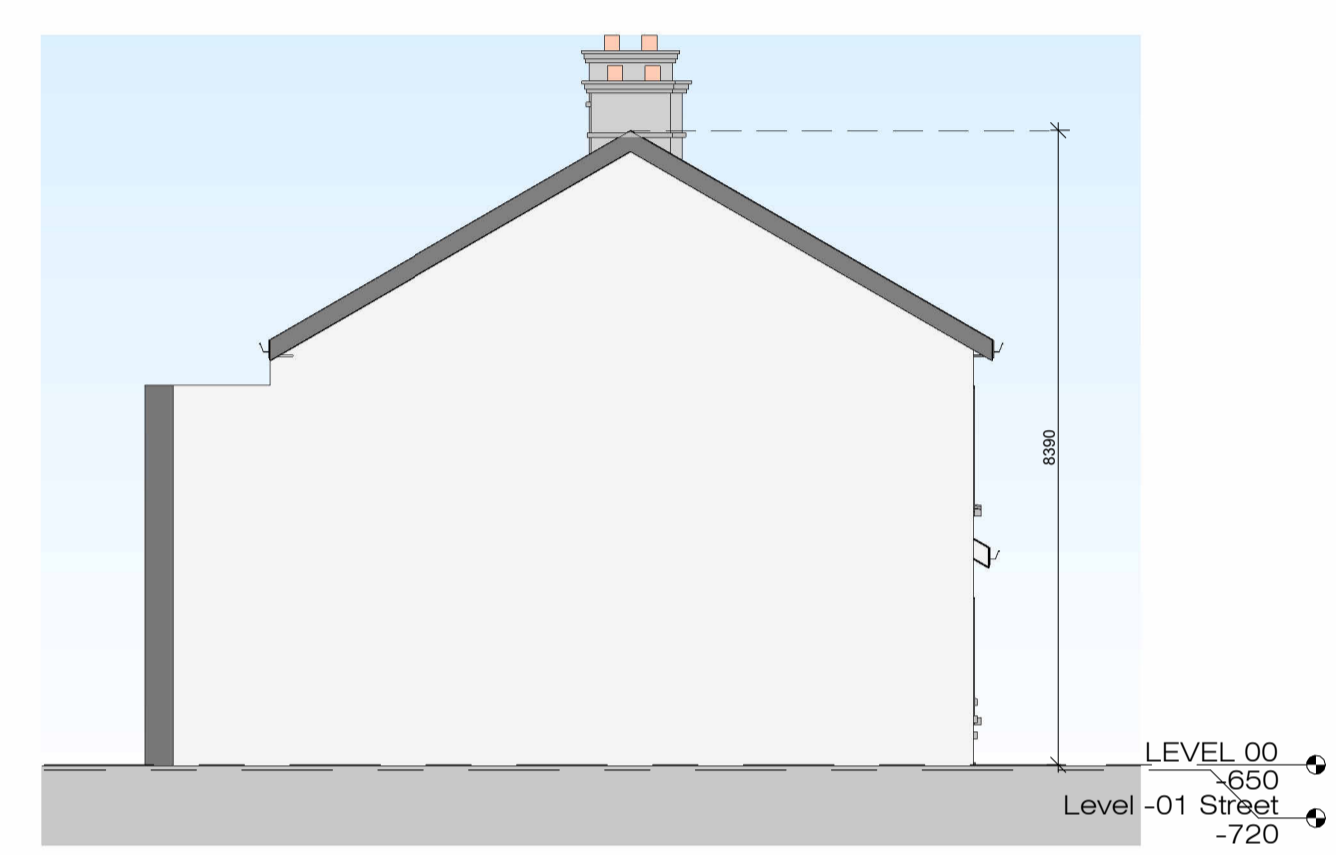
PROPOSED FIRST FLOOR PLAN  
Scale 1:100



PROPOSED GROUND FLOOR PLAN  
Scale 1:100



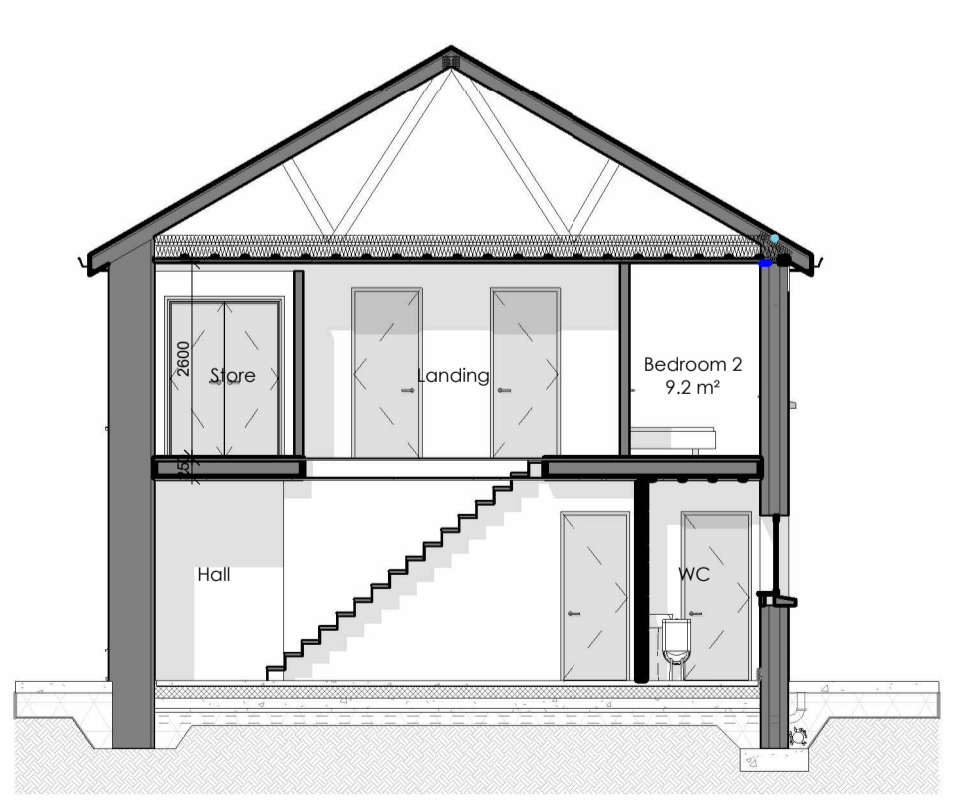
SIDE (NORTH-EAST FACING) ELEVATION  
Scale 1:100



SIDE (SOUTH-WEST FACING) ELEVATION  
Scale 1:100



SECTION A-A  
Scale 1:100



SECTION B-B  
Scale 1:100

TWO BEDROOM 4 PERSON APARTMENT	GROSS AREA	GROSS LIVING AREA	LIVING WIDTH	MAIN BEDROOM AREA	BEDROOM WIDTH	STORAGE AREA	CIRCULATION	WC	AMENITY AREA
DESIGN STANDARD QUICKLINES	63m <sup>2</sup>	28m <sup>2</sup>	3.6m	13m <sup>2</sup>	2.8m	5m <sup>2</sup>	-	-	6m <sup>2</sup>
UNIT 29 - TWO BED 4 PERSON APARTMENT	83.4m <sup>2</sup>	29m <sup>2</sup>	4.5m	13.4m <sup>2</sup>	3.2m	+6m <sup>2</sup>	7.1m <sup>2</sup>	7.1m <sup>2</sup>	9.7m <sup>2</sup>
DESIGN STANDARD QUICKLINES	73m <sup>2</sup>	30m <sup>2</sup>	3.6m	13m <sup>2</sup>	2.8m	6m <sup>2</sup>	-	-	7m <sup>2</sup>
UNIT 31 - TWO BED 4 PERSON APARTMENT	91.6m <sup>2</sup>	32.8m <sup>2</sup>	4.7m	13.7m <sup>2</sup>	3.5m	+6m <sup>2</sup>	7.0m <sup>2</sup>	7.0m <sup>2</sup>	23.8m <sup>2</sup>
DESIGN STANDARD QUICKLINES	73m <sup>2</sup>	30m <sup>2</sup>	3.6m	13m <sup>2</sup>	2.8m	6m <sup>2</sup>	-	-	7m <sup>2</sup>
UNIT 30 - TWO BED 4 PERSON APARTMENT	86.4m <sup>2</sup>	30.7m <sup>2</sup>	4.2m	13.1m <sup>2</sup>	3.22m	+6m <sup>2</sup>	7.0m <sup>2</sup>	7.0m <sup>2</sup>	39.5m <sup>2</sup>
DESIGN STANDARD QUICKLINES	73m <sup>2</sup>	30m <sup>2</sup>	3.6m	13m <sup>2</sup>	2.8m	6m <sup>2</sup>	-	-	7m <sup>2</sup>
UNIT 28 - TWO BED 4 PERSON APARTMENT	91m <sup>2</sup>	33.2m <sup>2</sup>	4.5m	14.2m <sup>2</sup>	3.5m	+6m <sup>2</sup>	7.0m <sup>2</sup>	7.0m <sup>2</sup>	21.8m <sup>2</sup>
DESIGN STANDARD QUICKLINES	45m <sup>2</sup>	23m <sup>2</sup>	3.3m	11.4m <sup>2</sup>	2.8m	3m <sup>2</sup>	-	-	5m <sup>2</sup>
UNIT 29 - ONE BED 2 PERSON APARTMENT	48m <sup>2</sup>	23m <sup>2</sup>	5.2m	11.4m <sup>2</sup>	2.94m	3m <sup>2</sup>	6.5m <sup>2</sup>	4.7m <sup>2</sup>	13.8m <sup>2</sup>

**OUTLINE SPECIFICATION**

**Substructures**  
**External Foundations:**  
 Deep concrete strip foundations reinforced with A393mesh to level below Consulting Engineer's Design & Specification.  
**Internal Foundations:** To consist of 600 x 300mm 30N20 concrete strip foundations reinforced with A393mesh to bottom reinforcement to reinforcement of 50mm.

**Ground Floors:**  
 New floor construction to consist of 130mm thick power floated RC floor with 60mm self-levelling screed to Engineers Design & Specification. 180mm p2 foam board with bonded foil facings, with minimum 25mm edge insulation with min R-value of 1.0m<sup>2</sup>/KW and polyethylene slip sheet on radon barrier on 50mm fine sand bedding on 250mm 12 permeable fill on hardcore to Engineers Design.  
 Elemental U-Value to be minimum 0.12 W/M<sup>2</sup>/K.

**Structures**  
**Existing External Front Walls:**  
 Front wall facing onto Barrack Street to be retained as per Conservation Practices. Existing plaster to be hacked off external, new lime plaster render to walls.  
 Internal face of walls to be lined in 50mm of diatomite.  
**New External Walls (Side and Rear Elevations):**  
 Lime plaster render on two coats sand/cement scratch and one coat scudded coat on 100x40x21 5mm block outer leaf with with pumped in 'Warm Fill' (or equal and approved insulation) with a minimum thermal conductivity of 0.022W/M<sup>2</sup>K. 100x40x21 5mm concrete block inner leaf with stainless steel mesh type wall ties to Engineers design & specification and 6mm hard wall plaster finish on sand/cement scratch and scudded coats to a total thickness of 15mm, select colour paint finish.  
**Boundary Walls:**  
 Rear Boundary Walls facing into the Existing Shopping Centre to be retained. Garden walls to be 215mm fair faced concrete blockwork wall with raked joints with 300x100x5mm precast concrete wall coping. 440mm fair faced blockwork piers with raked joints @ centres to Engineers specification. 56x56x140mm precast concrete pier cappings.  
 Wall foundation & rising wall design to Engineers detail.

**Party Walls:**  
 215x100x40 mm concrete block with 6mm hard wall plaster finish on sand / cement scratch and scudded coats to a total thickness of 15mm on both sides.

**Internal Walls:**  
 Internal walls to be constructed of 100mm concrete blocks on ground floor with sand cement and skim finish.  
 First floor wall to consist of skim finish on 12.5mm plasterboard on 100mm C16 timber stud partitions soundproofed/insulated with 100mm rockwool.

**First Floor Construction:**  
 17x19mm 1&g red deal floorboards with selected varnish finish on 225x44mm floor joists @ 350mm c/c to Engineers design & specification. (Bathroom floor to be screw fixed 19mm wbp plywood with selected vinyl sheet flooring finish).  
 Joist hangers to Engineers design & specification to be used where floor joists are supported on party walls in line with TGD Part E.

**Roof Construction:**  
 Selected colour roof slates on 35x50mm VAC-VAC treated timber battens on UV resistant breather membrane laid loose on timbers. 100mm minimum horizontal overlap and 100mm vertical overlap on prefabricated roof trusses @ 400mm centres to Engineers Design & Specification.

**External Stairs:**  
 Blockwork walls, external finish to match dwellings. Insulated Roof panel (Kingspan or equal or approved). Stainless steel access door.

**Structure Completions**  
**External Walls: Completions within Openings:**  
 Windows/ Doors:  
 Front Elevation windows to be painted hardwood casement windows with hardwood front door set. Windows & Doors to rear to be Aluminium or uPVC complete With Low-E Triple Glazing or Similar Approved. Colour to Be Approved.  
**Internal Walls, Partitions: Completions within Openings:**  
 Semi-solid veneered 46mm door leaves with plant on / four-panel traditional door beading. For pricing purposes include for pre-finished paint finish at factory. Bronze finish ironmongery, steel ball race hinges.

**Stairs:**  
 Softwood Stairs to Architects detail.

**Ceilings:**  
 1 layer of 15mm plasterboard (moisture resistant plasterboard to wet areas) with skim finish and painted in selected colour on 25mm battens to provide zone for services.

**Roof Completions:**  
 Roof Insulation: 400mm total thickness of mineral wool insulation in layers of 200mm between trusses and above trusses to give U-Value rating exceeding that of 0.12W/M<sup>2</sup>/K.

**Aluminium Facia Soffit:**  
 Black Fascia soffit on fixed to 19mm W.B.P. Building grounds with 25mm wide continuous  
 Soffit ventilator in accordance with BS 5250 and Building Regulations Part F with slots designed to exclude large insects

**Finishes**  
**Wall Finishes - generally:**  
 Cement sand plaster, gypsum skim 4-coat matt emulsion to selected shade.  
**Floor Finishes:**  
 Selected Vinyl floor finish throughout ground floor of each unit and first floor bathrooms.  
 Selected carpet finish to stairs, landing and first floor bedrooms.  
**Wall Tiling:**  
 Supply and fit wall tiling to each of the showers, each wib and both splashback and to kitchen upstands above worktops. include for supply & fit of all white pvc corner and edge trims, oil adhesives, waterproof grouts, etc

**External Yard:**  
 Selected precast concrete pavilions, see siteplan for areas. Graded areas to larger gardens. Units 30 & 31. Units 25,26 & 27 to have a 600mm grass verge to rear of gardens.



Proposed Social Housing Project  
Barrack St, Carlow.

Part 8 Drawing, Dec 2022 Scale: 1:100 @ A1

9 Proposed Plans, Section & Elevations - Units 28,29,30,31&32

BLUETT & O'DONOGHUE  
www.boda.ie