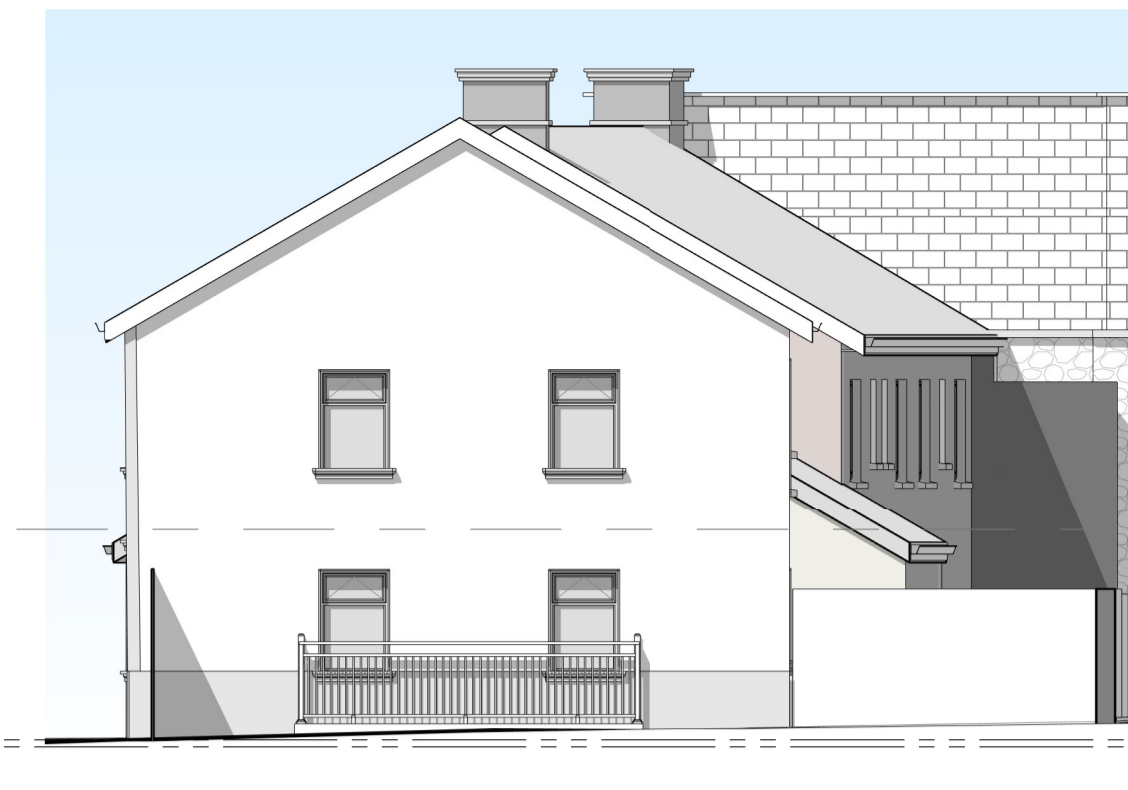




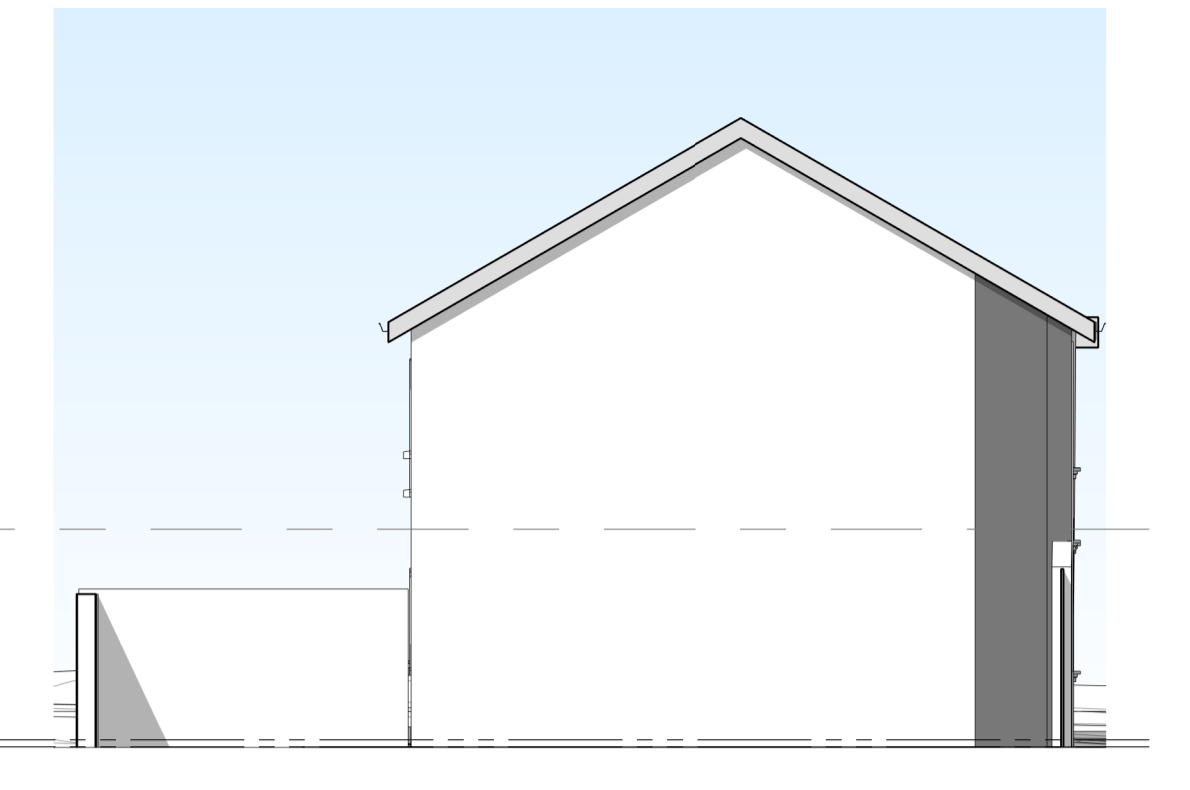
FRONT (SOUTH FACING) ELEVATION
Scale 1:100



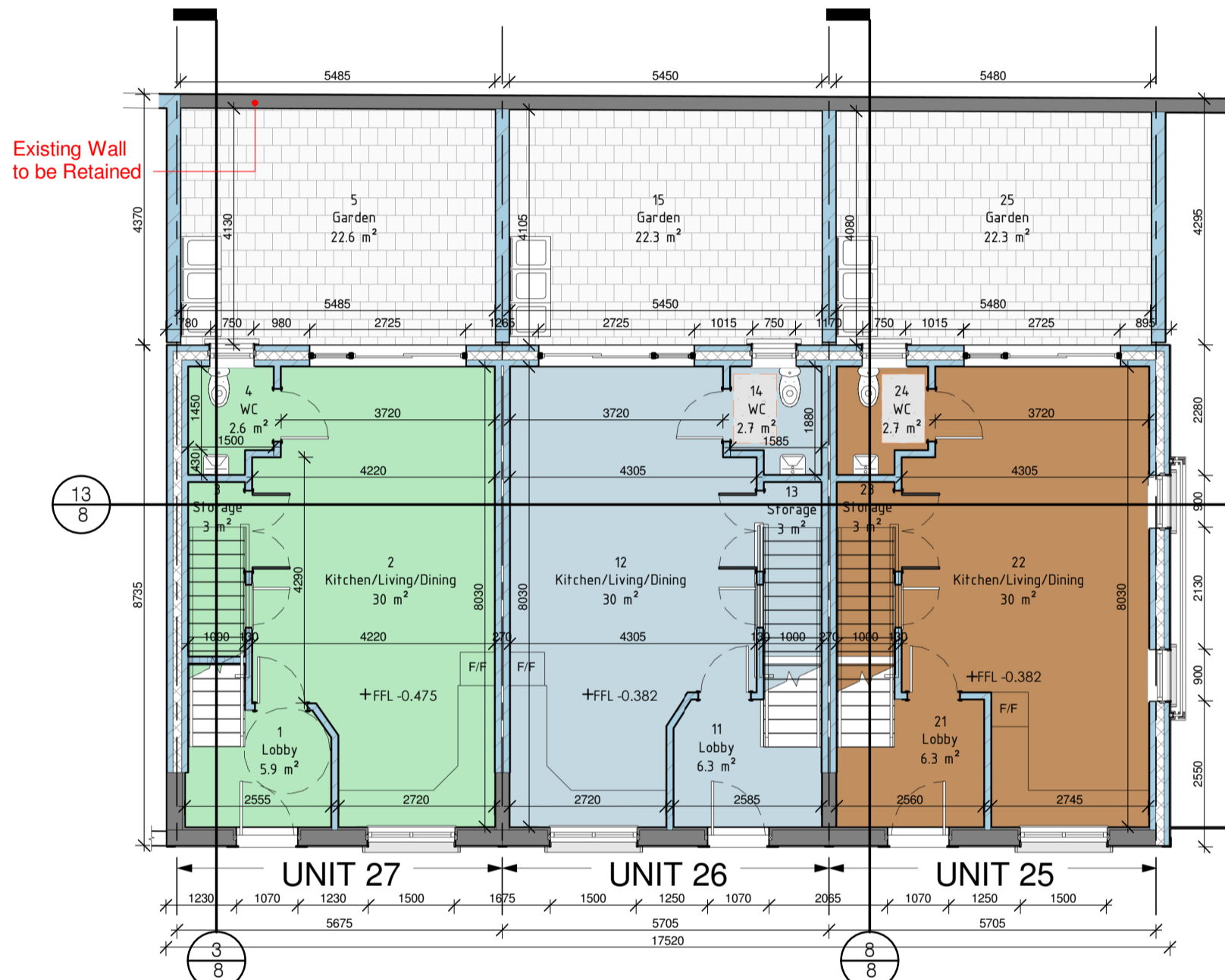
REAR (NORTH FACING) ELEVATION
Scale 1:100



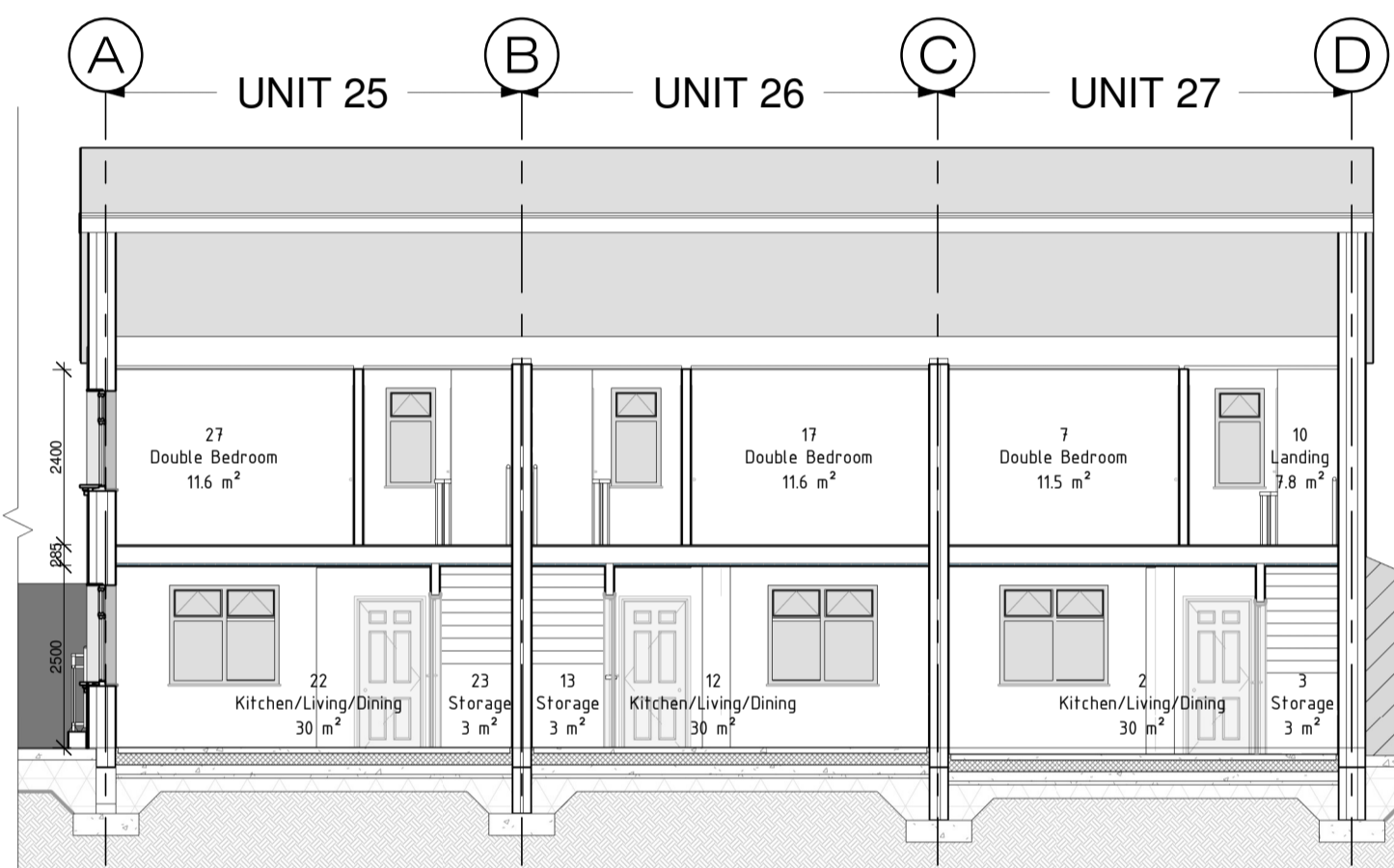
SIDE (EAST FACING) ELEVATION
Scale 1:100



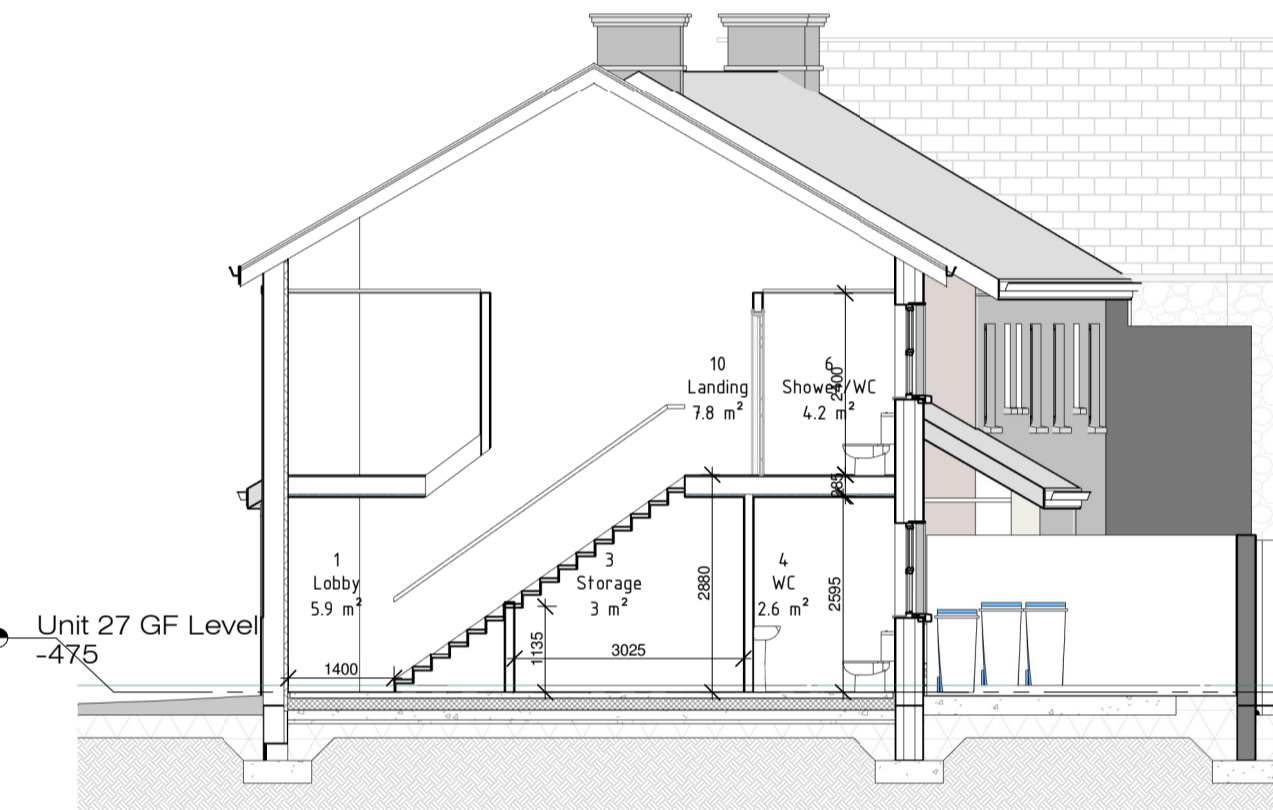
SIDE (WEST FACING) ELEVATION
Scale 1:100



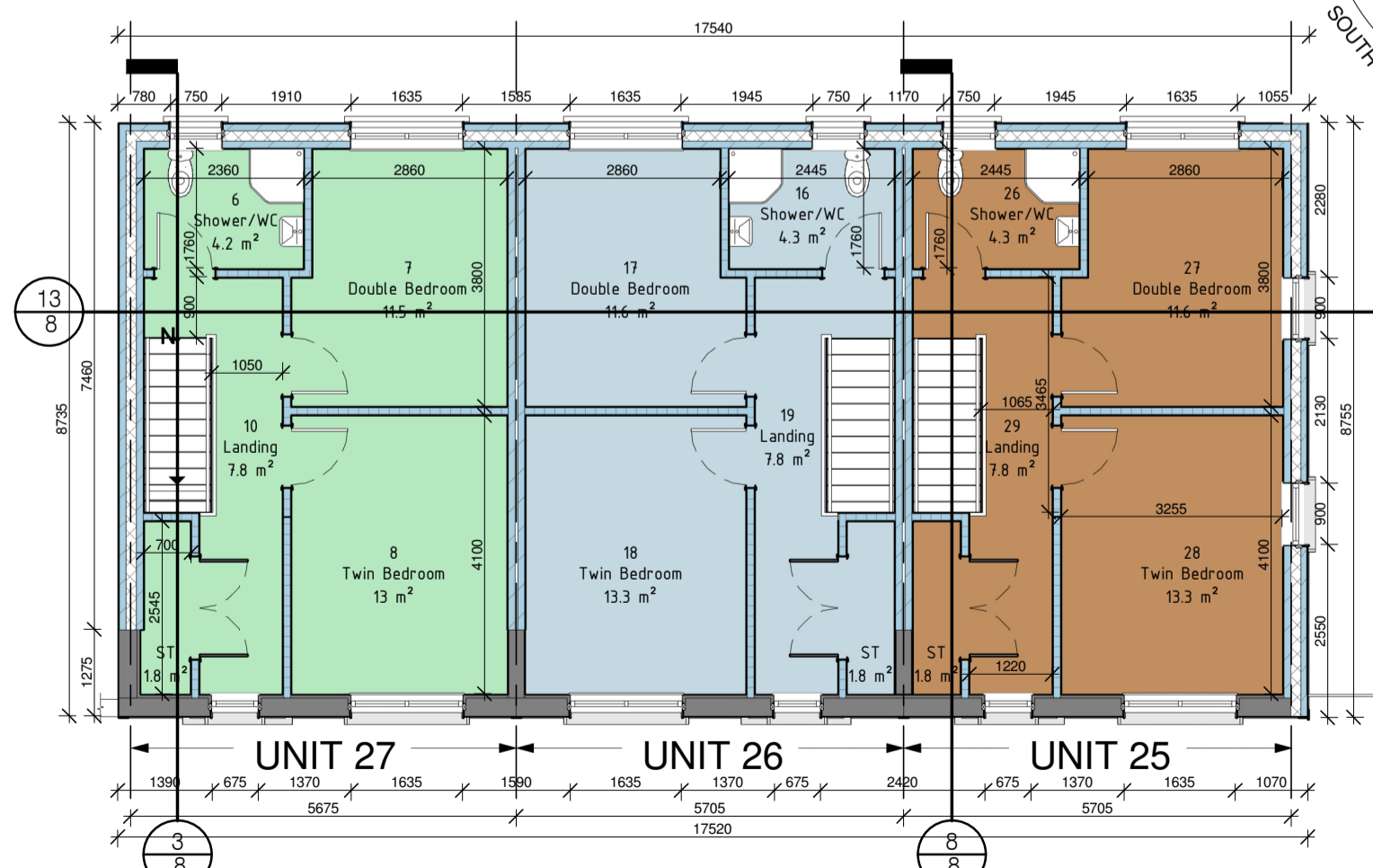
PROPOSED GROUND FLOOR PLAN
Scale 1:100



UNIT 25 - 26 - 27 SECTION
Scale 1:100

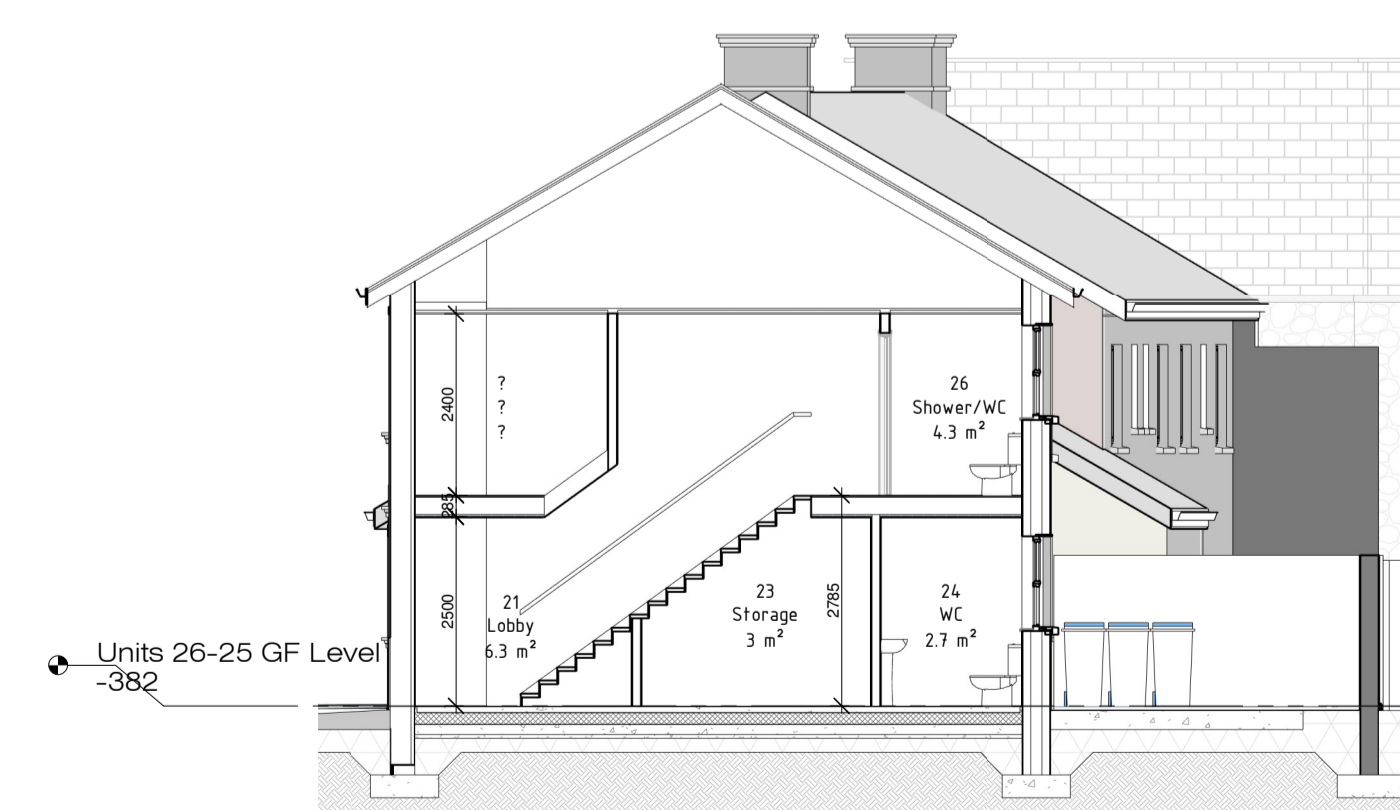


UNIT 27 SECTION
Scale 1:100



PROPOSED FIRST FLOOR PLAN
Scale 1:100

TWO BED PLUS TERRACE UNIT - 4 BEDS	GROSS AREA	GROSS LIVING AREA	LIVING WIDTH	TERRACE AREA	DOUBLE BEDROOM AREA	BEDROOM WIDTH	STORAGE AREA	CIRCULATION	W.C.	AMENITY AREA
DESIGN STANDARD GUIDELINES	80m ²	30m ²	3.6m	13m ²	11.4m ²	2.8m	4m ²	-	-	7m ²
UNIT 27 (THIRD BED + TERRACE) - 4 BEDS	83m ²	30m ²	4.22m	13m ²	11.5m ²	3.17m	4.8m ²	-	2	22.6m ²
TWO BED PLUS TERRACE UNIT - 4 BEDS	80m ²	30m ²	3.6m	13m ²	11.4m ²	2.8m	4m ²	-	-	7m ²
DESIGN STANDARD GUIDELINES	80m ²	30m ²	3.6m	13m ²	11.4m ²	2.8m	4m ²	-	-	7m ²
UNIT 26 (THIRD BED + TERRACE) - 4 BEDS	86m ²	30m ²	4.305m	13.3m ²	11.6m ²	3.25m	4.8m ²	-	2	22.3m ²
TWO BED PLUS TERRACE UNIT - 4 BEDS	80m ²	30m ²	3.6m	13m ²	11.4m ²	2.8m	4m ²	-	-	7m ²
DESIGN STANDARD GUIDELINES	80m ²	30m ²	3.6m	13m ²	11.4m ²	2.8m	4m ²	-	-	7m ²
UNIT 25 (THIRD BED + TERRACE) - 4 BEDS	86m ²	30m ²	4.305m	13.3m ²	11.6m ²	3.25m	4.8m ²	-	2	22.3m ²



UNIT 26 - 25 SECTION
Scale 1:100

Substructures
External Foundations:
 Deep concrete strip foundations reinforced with A393 mesh to Ivar Bowe Consulting Engineer's Design & Specification.
Internal Foundations: To consist of 600 x 300mm 30N20 concrete strip foundations reinforced with A393 mesh to bottom min cover to reinforcement of 50mm.

Ground Floor:
 New floor construction to consist of 130mm thick power floated RC floor with 80mm self-leveling screed to Engineers Design & Specification 160mm p/c foam board with bonded foil facings, with minimum 25mm edge insulation with min R-value of 1.2m²/K/W and polyethylene slip sheet on radon barrier on 50mm fine sand bedding on 250mm 12 permeable fill on hardcore to Engineers Design.

Structures
Existing External Front Walls:
 Front wall facing onto Barrack Street to be retained as per Conservation Practices. Existing plaster to be hacked off external, new lime plaster render to walls. Internal face of walls to be lined in 50mm of castlithem.
New External Walls (Side and Rear Elevations)
 Lime plaster render on two coats sand/cement scratch and one coat scudded coat on 100x440x215mm block outer leaf with pumped in 'Warm Fill' (or equal and approved insulation) with a minimum thermal conductivity of 0.022W/M2K. 100x440x215mm concrete block inner leaf with stainless steel twist type wall ties to Engineer's design & specification and 6mm hard wall plaster finish on sand/cement scratch and scudded coats to a total thickness of 150mm, select colour point finish.

Boundary Walls
 Rear Boundary Walls facing into the Existing Shopping Centre to be retained. Garden walls to be 215mm fair faced concrete blockwork wall with raked joints with 300x100x5mm precast concrete wall capping. 440mm fair faced blockwork piers with raked joints @ centres to Engineers specification. 565x565x140mm precast concrete pier capping's. Wall foundation & rising wall design to Engineers detail.

Party Walls
 215x100x440 mm concrete block with 6mm hard wall plaster finish on sand / cement scratch and scudded coats to a total thickness of 150mm on both sides.

Internal Walls
 Internal walls to be constructed of 100mm concrete blocks on ground floor with sand cement and skim finish. First floor wall to consist of skim finish on 12.5mm plasterboard on 100mm C16 timber stud partitions soundproofed/insulated with 100mm rockwool.

First Floor Construction
 119x19mm l/g red deal floorboards with selected varnish finish on 225x44mm floor joists @ 350mm c/c to Engineers design & specification. Bathroom floor to be screw fixed 19mm wbp plywood with selected vinyl sheet flooring finish. Joist hangers to Engineers design & specification. Bathrooms floor joists are supported on party walls in line with TGD Part E.

Roof Construction
 Selected colour roof slates on 35x50mm VAC-VAC treated timber battens on UV resistant breather membrane laid loose on timbers. 100mm minimum horizontal overlap and 100mm vertical overlap on prefabricated roof trusses @ 400mm centres to Engineers Design & Specification.

External Shed
 Blockwork walls, external finish to match dwellings. Insulated Roof panel (Kingspan or equal or approved). Stainless steel access door.

Structure Completions
External Walls, Completions within Openings
 Windows/ Doors:
 Front Elevation windows to be painted hardwood casement windows with hardwood front door set. Windows & Doors to rear to be Aluminium or uPVC complete With Low-E Triple Glazing or Similar Approved. Colour To Be Approved.
Internal Walls, Completions within Openings
 Semi-solid veneered 46mm door leaves with 'plant on' four-panel traditional door bearing, for pricing purposes include for pre-finished paint finish at factory. Bronze finish ironmongery, steel ball race hinges.

Stairs
 Softwood Stairs to Architects detail.

Ceilings
 1 layer of 15mm plasterboard (moisture resistant plasterboard to wet areas) with skim finish and painted in selected colour on 25mm battens to provide zone for services.

Roof Completions
 Roof insulation: 400mm total thickness of mineral wool insulation in layers of 200mm between trusses and above trusses to give U-Value rating exceeding that of 0.12W/M2K.

Aluminium Facia Soffit
 Black Fascia soffit on fixed to 19mm W.B.P. Plywood grounds with 25mm wide continuous Soffit ventilate in accordance with BS 3250 and Building Regulations Part F with slots designed to exclude large insects.

Finishes
Wall Finishes - generally
 Cement sand plaster, gypsum skim 4-coat matt emulsion to selected shade.

Floor Finishes
 Selected Vinyl floor finish throughout ground floor of each unit and first floor bathrooms.
 Selected carpet finish to stairs, landing and first floor bedrooms.

Wall Tiling
 Supply and fit wall tiling to each of the showers, each whb and bath splashback and to kitchen upstands above worktops, include for supply & fit of all white pvc corner and edge trims, all adhesives, waterproof grouts, etc.

External Yards
 Selected precast concrete pavings, see siteplan for areas. Grassed areas to larger gardens. Units 30 & 31. Units 25,26 & 27 to have a 600mm grass verge to rear of gardens.



Proposed Social Housing Project
 Barrack St, Carlow.

Part 8 Drawing, Dec 2022 Scale: 1:100 @A1

8 Proposed Plans, Sections & Elevation
 Units - 25, 26 & 27

BLUETT & O'DONOGHUE
www.boda.ie